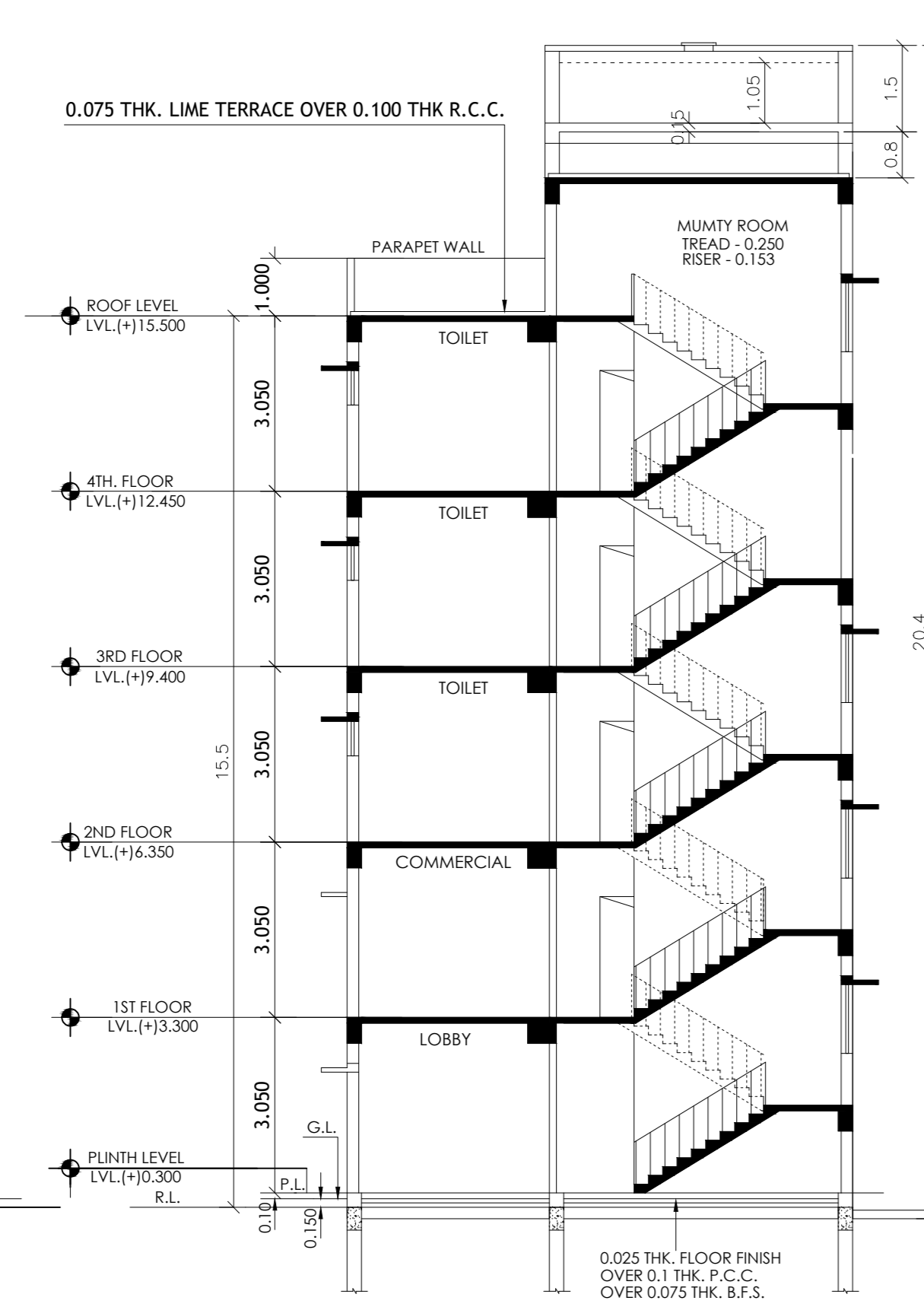
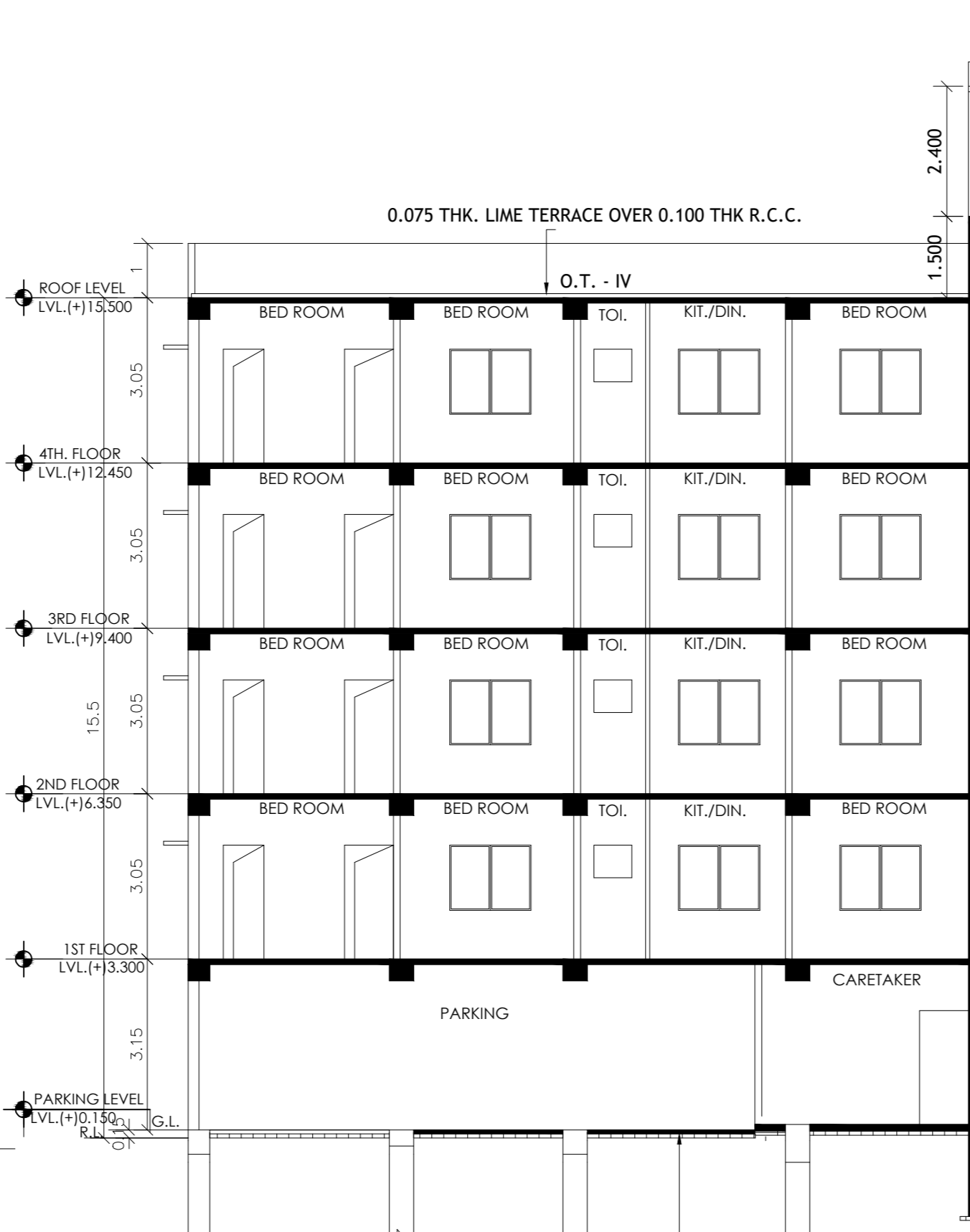


FRONT ELEVATION
SCALE=1:100
(NORTH SIDE)



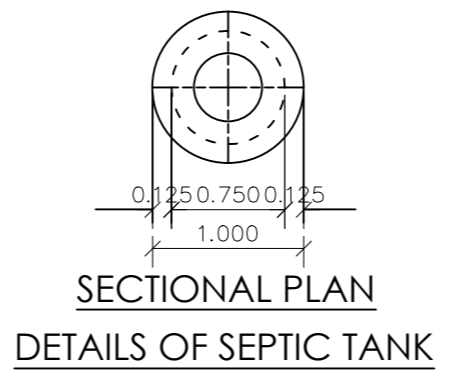
SECTION ON- X-X
SCALE=1:100



SECTION ON- Y-Y
SCALE=1:100



SECTIONAL ELEVATION



SECTIONAL PLAN
DETAILS OF SEPTIC TANK

LAND AREA (AS PER DEED) = 10 K.-05 CH.-08 SQ.FT. = 690.54 SQ.M.
 LAND AREA AS PER SITE = 657.36 SQ.M.
 AREA OF LAND DONATED FOR WIDENING THE ROAD = 37.94 SQ.M.
 AREA OF LAND WITHOUT DONATED LAND = (657.36 - 37.94) SQ.M. = 619.42 SQ.M.
 AREA OF LAND FOR F.A.R. CALCULATION = 657.36 SQ.M.
 PERMISSIBLE GROUND COVERAGE (50%) = 328.68 SQ.M.
 PROPOSED GROUND COVERAGE (46.78%) = 307.52 SQ.M.
 WIDTH OF MEANS ACCESS = (6.4+2.5)M. = 8.9 M.
 PERMISSIBLE FAR = 1.75
 PERMISSIBLE BUILDING HEIGHT = 15.5 M.
 NO. OF FLAT = 10 NOS.
 TOTAL NO. OF PARKING = 10 NOS.

AREA STATEMENT

FLOOR	FLOOR AREA (SQM)	FLOOR AREA WITHOUT LIFT WELL (SQM)	STAR AREA CAPTIVATION (SQM)	LIFT LOBBY AREA CAPTIVATION (SQM)	TOTAL FLOOR AREA WITHOUT STAR/LIFT/LIFT LOBBY AREA (SQM)	ACTUAL RESIDENTIAL AREA (SQM)	SERVICE AREA (SQM)	COMM. AREA (SQM)	PARKING AREA (SQM)	C.B. AREA (SQM)	F.A.R. CALCULATION
GROUND FLOOR	307.52	307.52	29.865	4.958	272.697	---	36.86	48.047	225.00	10 NOS.	(1306.65-163.441) / 657.36
1ST FLOOR	307.52	307.52	29.865	4.958	272.697	---	---	---	---	---	---
2ND FLOOR	307.52	307.52	29.865	4.958	272.697	---	---	---	---	---	---
3RD FLOOR	307.52	307.52	29.865	4.958	272.697	---	---	---	---	---	---
4TH FLOOR	198.13	3.36	194.77	13.365	4.958	176.447	162.79	---	---	---	---
TOTAL	1428.21	13.44	1414.77	83.325	24.79	1306.655	854.95	36.86	173.066	---	---

CAR PARKING CALCULATION

FLOOR	AREA (SQM)	NO. OF CARS
GROUND FLOOR	48.047	7 NOS.
1ST FLOOR	125.019	---
2ND FLOOR	278.48	---
3RD FLOOR	278.48	---
4TH FLOOR	162.79	---
TOTAL	854.95	173.066

PROPOSED G-III STORED RESIDENTIAL CUM COMMERTIAL BUILDING PLAN OF DIPANKAR MONDAL AT R.S. DAG NO. 1283, 1264, R.S. KHATIAN NO. 795, 264, L.R. DAG NO. 1308, L.R. KHATIAN NO. 9167, MOUZA - BAKUNTHAPUR, J.L. NO. 37, HOLDING NO. 2331, ROAD - BAGUI PARA ROAD, WARD NO.-15, P.S. - SONARPUR, DISTRICT-SOUTH 24 PARGANAS UNDER RAJPUR SONARPUR MUNICIPALITY.

NOTES AND SPECIFICATIONS
 1. ALL DIMENSIONS ARE IN METRE UNLESS OTHERWISE MENTIONED.
 2. WRITTEN DIMENSIONS TO BE FOLLOWED.
 3. OUTER WALLS ARE 0.200 M THICK.
 4. INTERNAL PARTITION WALLS ARE 0.125M THICK.
 5. 0.02M THICK EXTERNAL PLASTER WITH 1:6 C/S MORTAR
 6. 0.015M THICK INTERIOR PLASTER WITH 1:6 C/S MORTAR
 7. 0.015M THICK CEILING PLASTER WITH 1:4 C/S MORTAR
 8. GRADE OF CONCRETE IS M20 AND GRADE OF STEEL IS Fe415
 9. DEPTH OF SEPTIC TANK & WATER RESERVOIR SHOULD NOT EXCEED DEPTH OF FOUND.
 10. ALL CONSTRUCTION MUST BE AS PER I.S. CODE & N.B.C OF INDIA.
 11. GROUND AND FIRST BOTH ARE MARBLE FLOORING.

SCHEDULE OF DOORS & WINDOWS

MCD.	HEIGHT	WIDTH	REMARKS	MCD.	HEIGHT	WIDTH	REMARKS
MD	2.100	1.500	PANEL	W	1.500	1.800	GLAZED
D	2.100	1.350	PANEL	W1	1.500	1.500	GLAZED
D1	2.100	1.200	PANEL	W2	1.500	1.200	GLAZED
D2	2.100	1.000	PANEL	W3	1.200	0.850	GLAZED
D4	2.100	0.750	PANEL	W4	0.700	0.700	GLAZED

WE DO HEREBY CERTIFY THAT THE BUILDING SITE PROPOSED FOR CONSTRUCTION UNDER THE JURISDICTION OF RAJPUR SONARPUR MUNICIPALITY HAS BEEN VISITED BY ME AND ALL THE DESIGNS, DRAWING (SPECIFY THE DRAWING NUMBER SERIALY) SOIL TEST REPORT AND LOAD TEST RESULTS FOR FOUNDATION AND SUPERSTRUCTURE HAVE BEEN DULY REVIEWED CONFORMING TO STIPULATIONS OF ALL LATEST RELEVANT IS CODE OF PRACTICE AND NATIONAL BUILDING CODE AND IT IS FOUND THAT EVERYTHING IS COMPLETELY IN ORDER AND THE PROPOSED FOUNDATION AND SUPER STRUCTURE ARE SAFE IN ALL RESPECT.

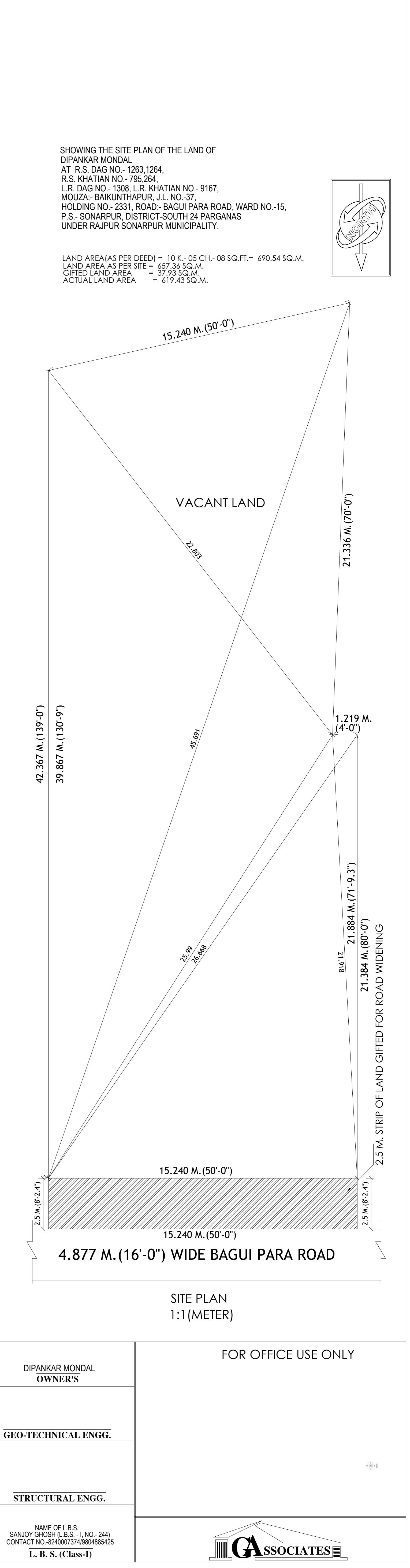
DIPANKAR MONDAL
 OWNER'S
 I DO HEREBY CERTIFY THAT THE FOUNDATION AND SUPER STRUCTURE OF THE BUILDING PROPOSED FOR CONSTRUCTION UNDER THE JURISDICTION OF RAJPUR SONARPUR MUNICIPALITY HAVE BEEN PERSONALLY INSPECTED AND SO DESIGN BY MEAS WILL MAKE SUCH FOUNDATION AND SUPERSTRUCTURE SAFE IN ALL RESPECT INCLUDING THE CONSIDERATION OF BEARING CAPACITY AND SETTLEMENT OF SOIL AND OTHER CONDITIONS. IF ANY, CONTRIBUTING TO ALL STIPULATIONS OF ALL RELEVANT IS CODES OF PRACTICE AND NATIONAL BUILDING CODE.

GEO-TECHNICAL ENGG.
 THE STRUCTURAL DESIGN & DRAWING OF BOTH FOUNDATION & SUPER STRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER THE NATIONAL BUILDING CODE OF INDIA & CERTIFIED THAT IT IS SAFE & STABLE IN ALL RESPECT.

STRUCTURAL ENGG.
 IT IS CERTIFIED THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISION OF R.S.M. BUILDING RULES - 2009 AS AMENDED FROM TIME TO TIME & THAT THE SITE CONDITION INCLUDING THE WIDTH OF ABUTTING ROAD CONFORM WITH THE PLAN & THAT IT IS A BUILDABLE SITE & AS INFORMED BY THE OWNER NOT A TANK OR FILLED UP TANK.

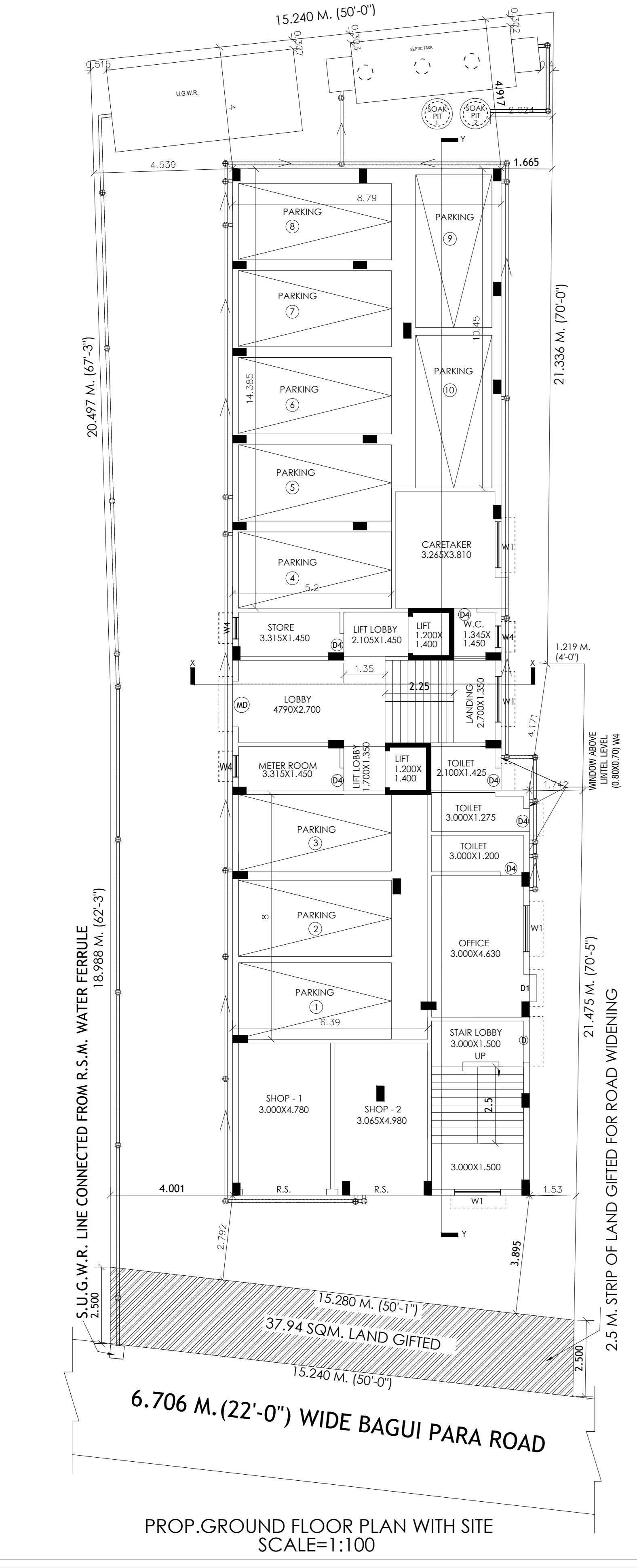
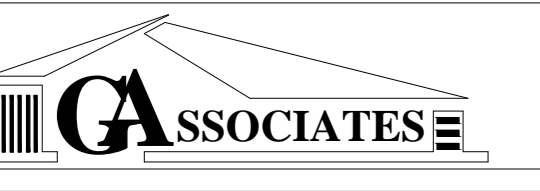
NAME OF L.B.S.
 SANDY GHOSH (L.B.S. - I NO. 244)
 CONTACT NO. 8240007374/9804885425

L. B. S. (Class-I)
 FOR OFFICE USE ONLY
 (SPACE FOR QR CODE)

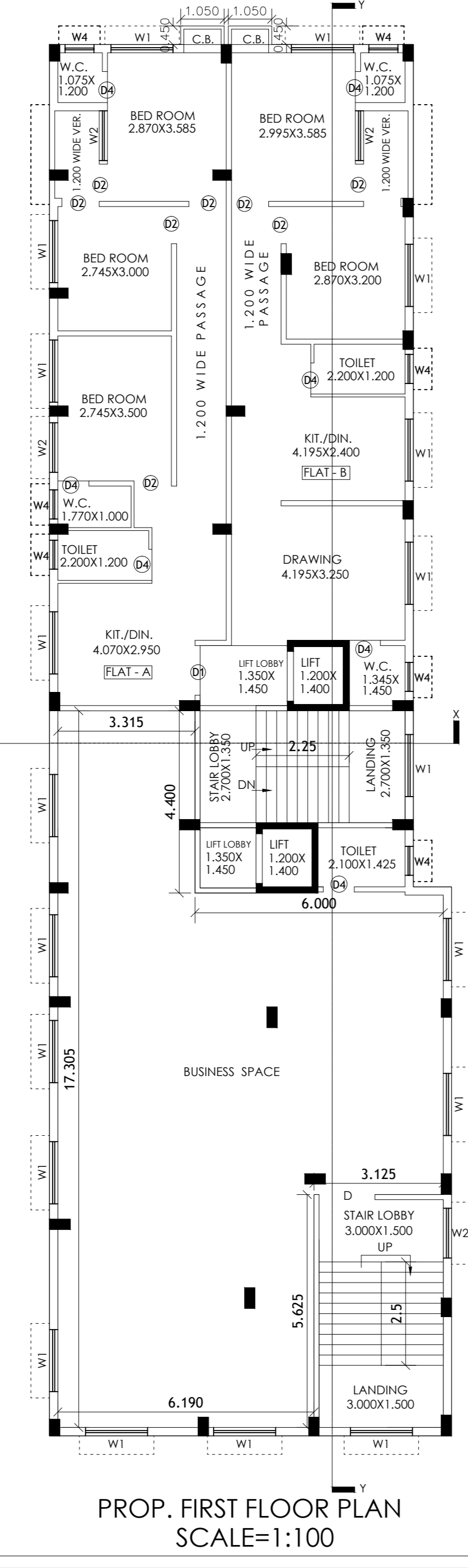


SITE PLAN
SCALE=1:1 (METER)

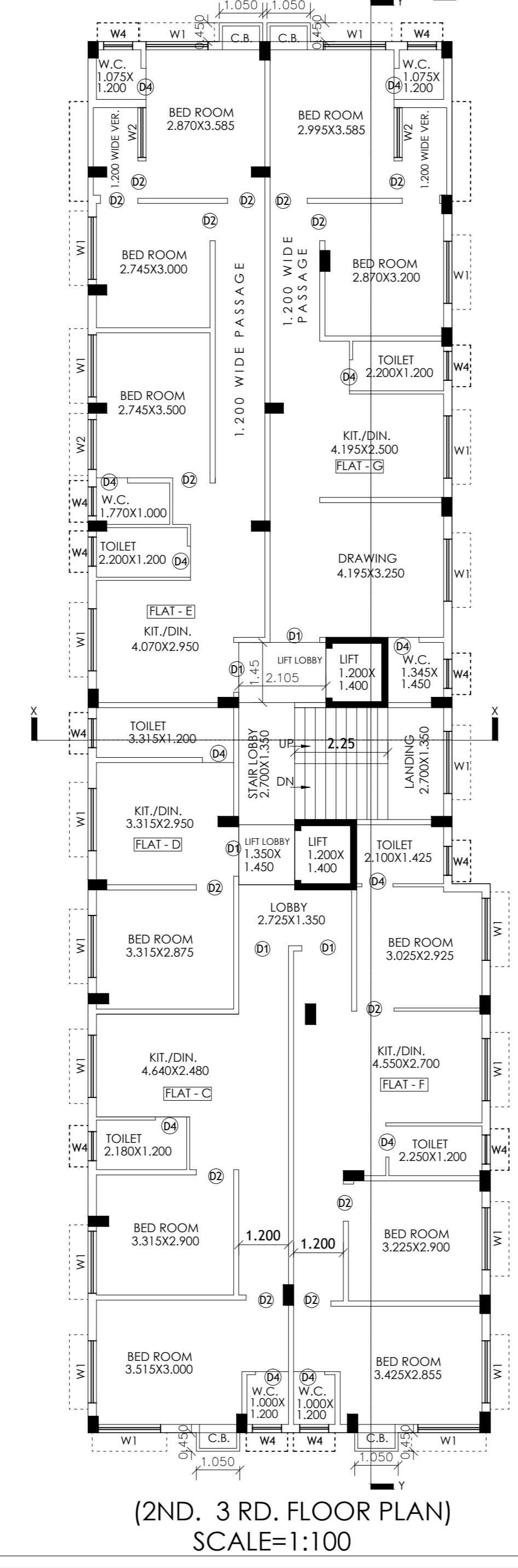
DIPANKAR MONDAL OWNER'S	FOR OFFICE USE ONLY
GEO-TECHNICAL ENGG.	
STRUCTURAL ENGG.	
NAME OF L.B.S. SANDY GHOSH (L.B.S. - I NO. 244) CONTACT NO. 8240007374/9804885425	



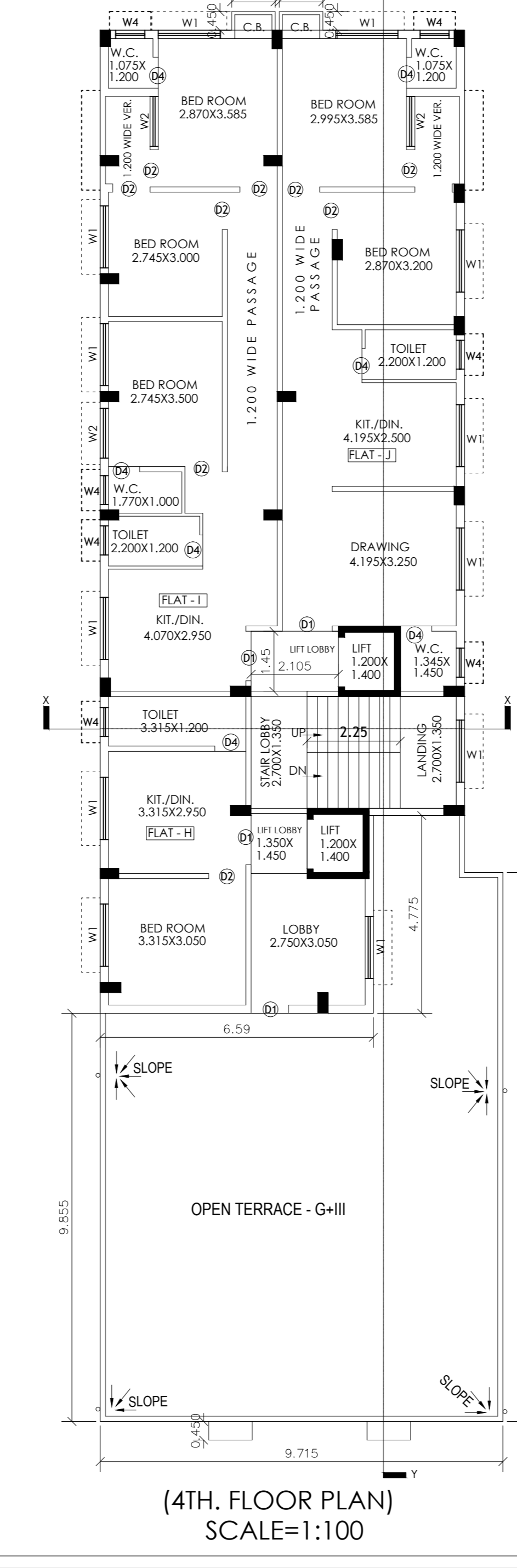
PROP. GROUND FLOOR PLAN WITH SITE
SCALE=1:100



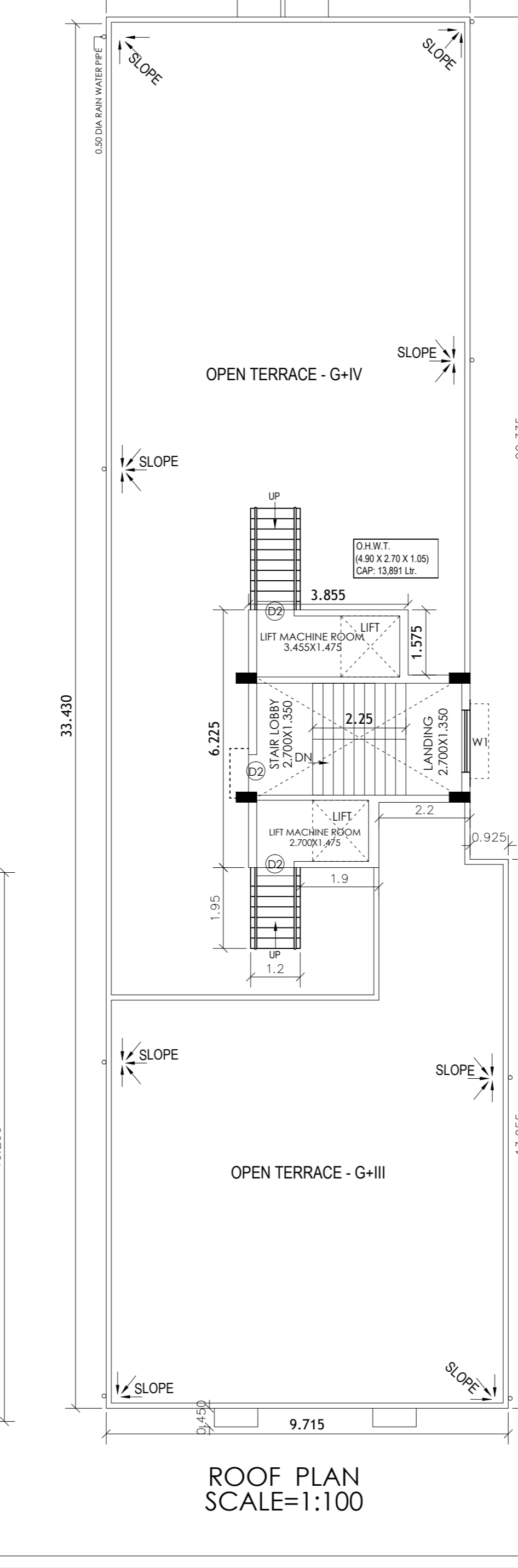
PROP. FIRST FLOOR PLAN
SCALE=1:100



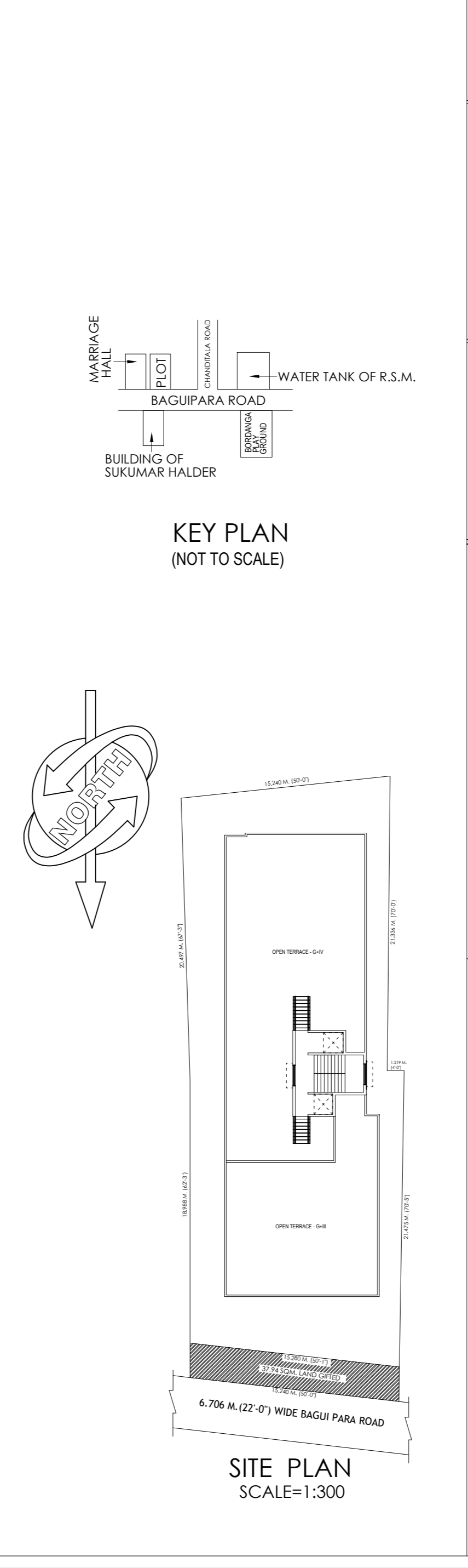
(2ND, 3RD. FLOOR PLAN)
SCALE=1:100



(4TH. FLOOR PLAN)
SCALE=1:100



ROOF PLAN
SCALE=1:100



SITE PLAN
SCALE=1:300